

1719-P07

Neighbours

Septic Tank

All houses in this community have been assessed as being visually vulnerable and sensitive locations listed above - assessed by

2 objections submitted and height markers requested refused
see PL 18365

Tara Walsh

Visually Vulnerable
Septic Tank
Assessed

Nail
Crew
Janelle
maiden
Visually
Vulnerable

PL 001225

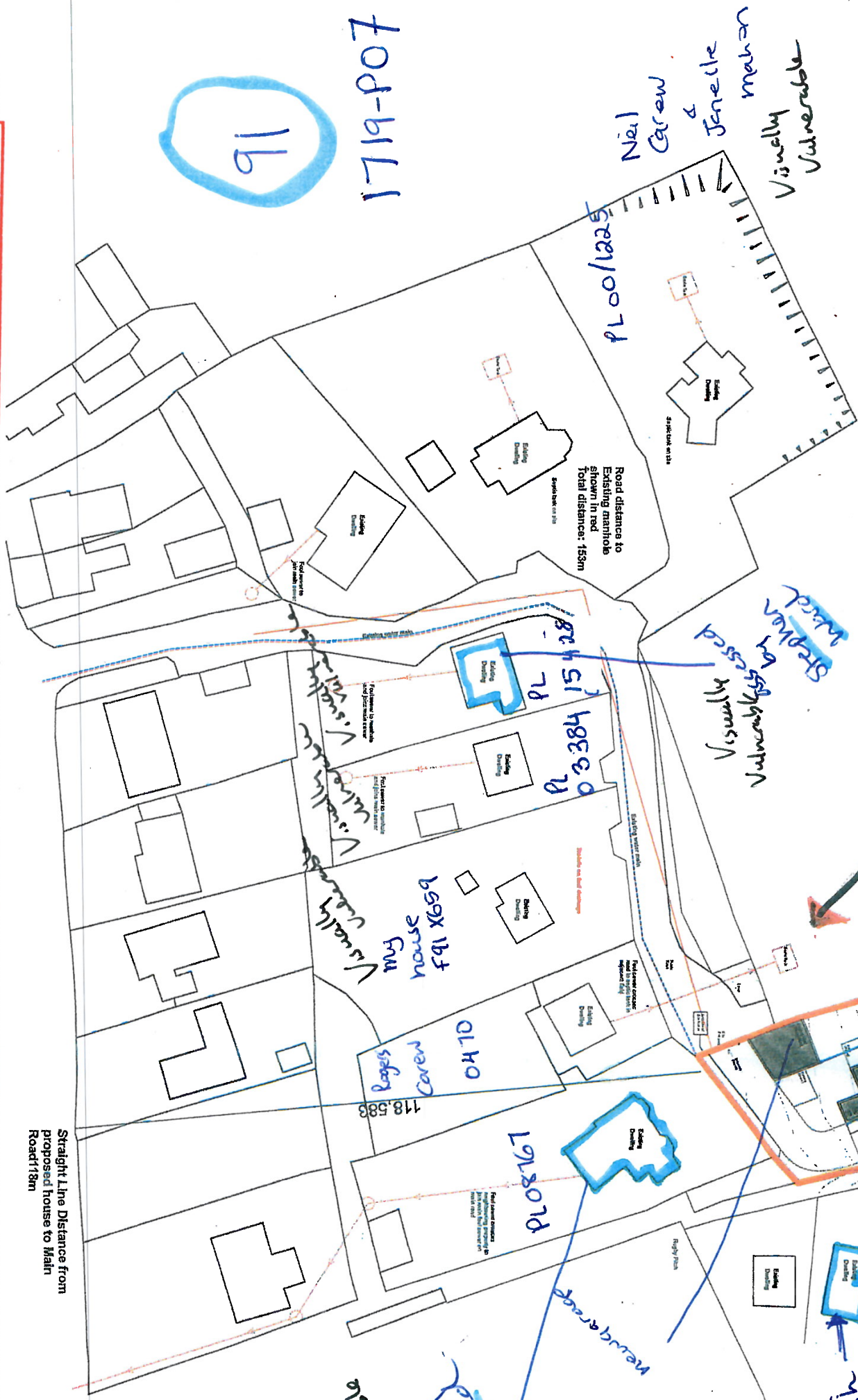
Road distance to existing manhole shown in red
Total distance: 153m

PL 038328

PL 1918078

1719-P07

16



Straight Line Distance from Proposed house to Main Road 18m

1719-P07

FFL 33.5



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LDG-32-196573-2C
TR DATED FROM 2017
17 DEC 2017

AN COIMIISIÚN PLEANÁLA

SCAILED
17 JUN 2019

PROJECT: House at Stranmillis
DRAWING TITLE: Drainage and Sewerage Plan
STAGE: Planning Application
DATE: 30/05/2019

REVISIONS:

SCALE: 1:1000 @ A3

DRAWING NUMBER: 1719_P07

DRAWN: CK
CHECKED: JM

REVISION:

ARCHITECTS

NOTA: Andrew
Grand Floor, The Baking Block,
Bridge & Stone
1007 708655

- Addendum-B -

1/2

AN COIMIISIÚN PLEANÁLA
11 8 DEC 2025
LTR DATED FROM
LDG-323964-25
ACP



SCANNED
- 2 JAN 2019

KEY

- Spot Height
- Water Valve / Gully Trap
- Kerb Channel
- Lamppost
- Tree
- Control Station
- Telecom
- Foul Sewer
- Storm Manhole
- Contours
- Electric / Telegraph pole



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Date	Drawn	Description	Checked
March 2019	PC	SMA Layout	FD

DAVITT
PLANNING & DESIGN
ENGINEERS & ARCHITECTS

Main Street
Drumkeerin
Co. Leitrim
PH/Fax: 071 96 48886
Mob: 087 906 7806
Email: info@davittplanningdesign.ie

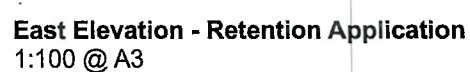
Client
John Monahan,
Larass,
Strandhill,
Co. Sligo

SiteLayout @

Designed	P Conn	Eng Check	F Conn
Drawn	P Conn	Coordination	
Eng Check	F Conn	Approved	F Conn
Scale	1:500	Status	Rev

Coordinates are based on The ITM Grid
Scale Factor for distances = 0.999824
Datum used for elevations based on Ordnance Survey Mean Sea Level 1929

(89)

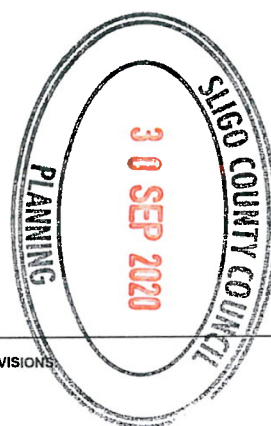


West Elevation - Retention Application
1:100 @ A3

 **Roof:** Zinc Effect membrane finish

 **Cladding:** Cedar Timber

Windows and Doors: AluClad



NOJI Architects
Desk 23, Collaborative Area,
Ground Floor, The Building Block,
Bridge St, Sligo
e: info@noji.ie
t: 087 7708805

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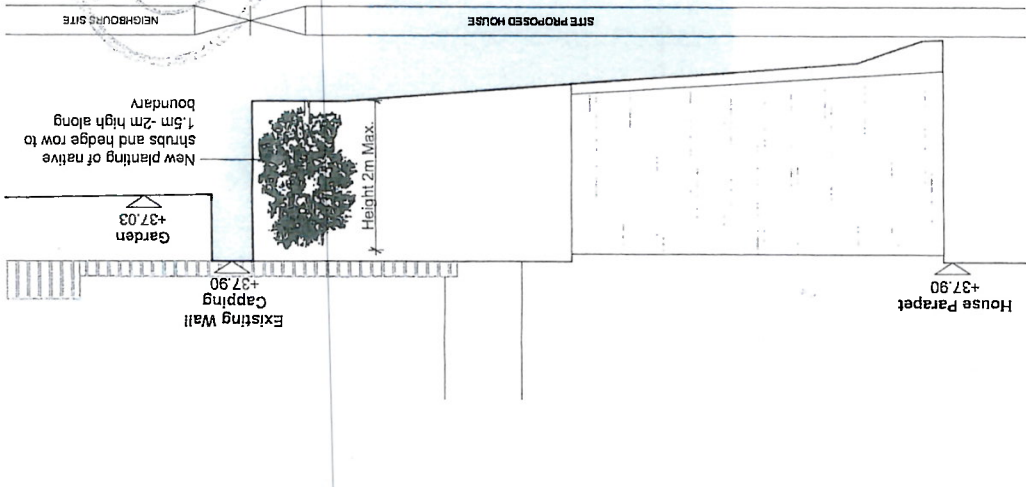
All dimensions will be taken on site prior to ordering and construction. Copyright remains with the architect.

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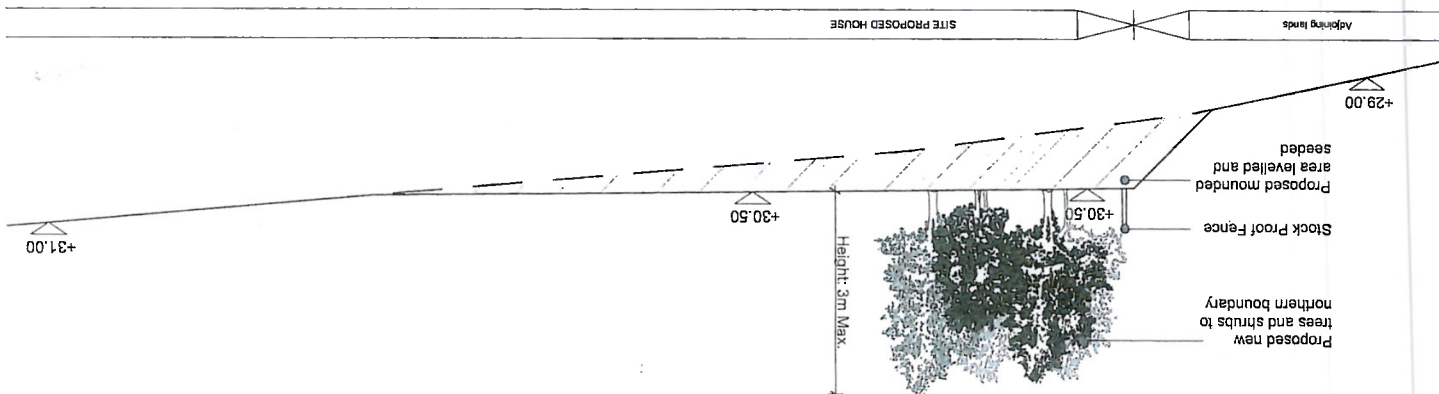
SCALE:	1:500, 1:100 @	A3
DRAWING NUMBER:	1719_P.06	JM
DRAWN:	CK	CHECKED:
REVISION:		

NOJI Architects
 2000 West 10th Avenue
 Suite 200, The Building
 Bldg #2, Box 610
 Anchorage, AK 99503
 Tel: 907.770.0505

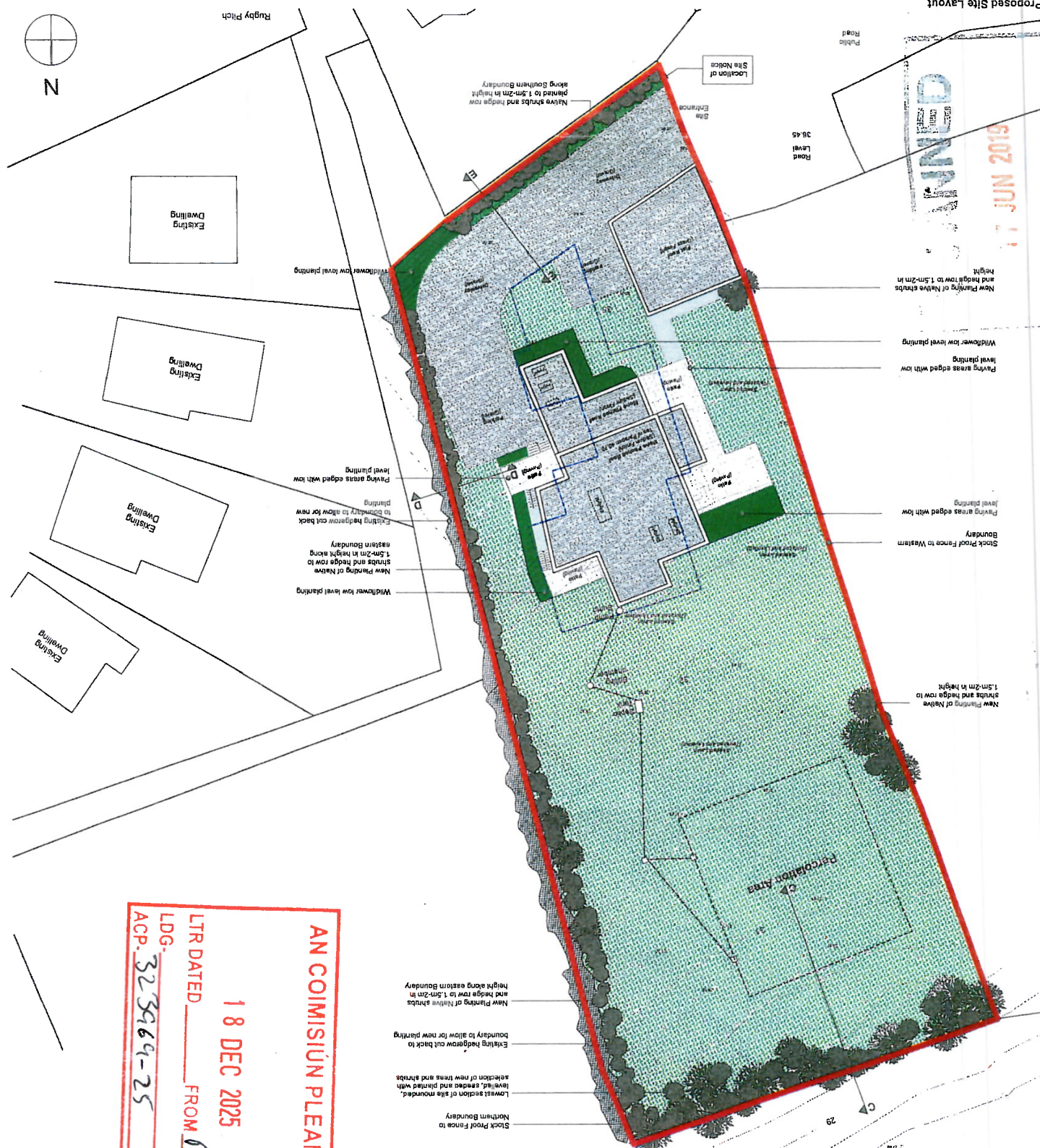
Proposed Site Section E-E
1:100 @ A3



Proposed Site Section C-C
1:100 @ A3



Proposed Site Layout @ A3



- + Appropriate drainage is required for new hedges, a bank and ditch may be desirable
- + All hedgerow planted to be semi-mature 1.5m-2m in height along boundaries
- + Sufficient width of (2m) required for the established hedge
- + Young plants should be closely spaced (500mm max.), and be planted on a herringbone/zigzag line
- + Ensure regular maintenance with clipping of young plants to encourage good growth

Planting Hedgerows

- + All failures in the first two years to be replaced with similar species.
- + All trees to be adequately staked.
- + Lawn areas to be levelled, terraced, and seeded as shown on plan.
- + All landscaping to take place during first planting season after construction is completed.

New shrubs and hedges: Holly, Hawthorn, Blackthorn, Barberrry, Forsythia.

New trees: Bird Cherry, Crab apple, Beech, Elder, Rowan, Blackthorn, Hazel.

Wildflowers: Bird's foot trefoil, Brassicas, Clovers, Geranium, Knapweed, Oxeye Daisy, Self-heal, Speedwell, Thistle, Vetch, Yarrow.

Landscape Schedule

The primary objective is to ensure that the proposed design sits within its context and integrates into the site as much as possible. Native Irish trees, shrubs, and hedgerows are carefully placed within the site to ensure the development blends into the landscape appropriately. Using native shrubs and grasses, found in the local area, ensure that the house has minimal impact on its surroundings. The introduction of wildflowers will encourage the renewal of native biodiversity by encouraging native plants, animals and birds to reappear at the site.

Landscaping Design

AN COMISIUN PLEANĀLA

18 DEC 2025

LTR DATED FROM REF

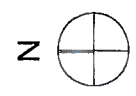
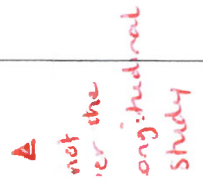
LDG

ACP 323464-25

5/9

05 JUN 2007

AN COIMISIÚN PLEANÁLA



NOTE:	NOTES:	PROJECT: House at Strandhill	REVISIONS:	SCALE: 1:200 @ A3	DRAWING NUMBER: 1719_P05	DRAWN: CK CHECKED: JM	REVISION:
Do not scale from this drawing. Any discrepancies to be reported to the architect.		DRAWING TITLE: Entrance, Shed, Car port plan + Elevations					
All dimensions will be taken on site prior to ordering and construction. Copyright remains with the architect.		STAGE: Planning Application					NOJ Architects Diana O'Connell, Architect Ground Floor, The Old Coach House Bridge St, Sligo sligo@noj.ie t 087 7778865
This drawing is to be read in conjunction with the specification and all other relevant drawings.		DATE: 30/05/2019					



NOII Architects
 Desk 23, Courtyard Farm,
 Ground Floor, The Building Block,
 Bridge St, Sligo
 e: info@noii.ie
 t: 087 7708605

6/9

Aug 23 19/20

AN COIMISIÚN PLEANÁLA

18 DEC 2025

LTR DATED _____ FROM DEF

LDG-_____

ACP-323969-25

FFFL 33.5

1719-P07

NOTE:

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NOTES:

PROJECT:
House at Strandhill

House at Strandhill

DRAWING TITLE:
Drainage and Sewerage Plan

STAGE:

DATE: _____

DATE:
30/05/2019

REVISIONS:

SCALE:
1:1000 @ A:

DRAWING NUMBER.

DRAWN:
CK
CHECKED:

אמצעים:

NQJ Architects
Desk 23, Collaborative Area,
Ground Floor, The Building Block,
Bridge St. Sigo
e: info@nqj.ie
t: 087 7708805

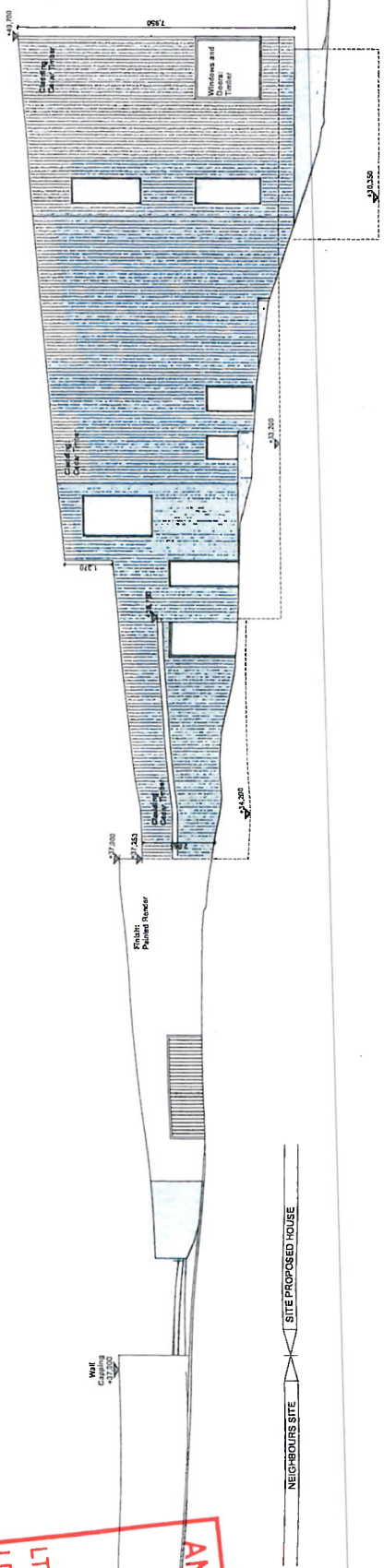
4/9

Ann 23/19/20

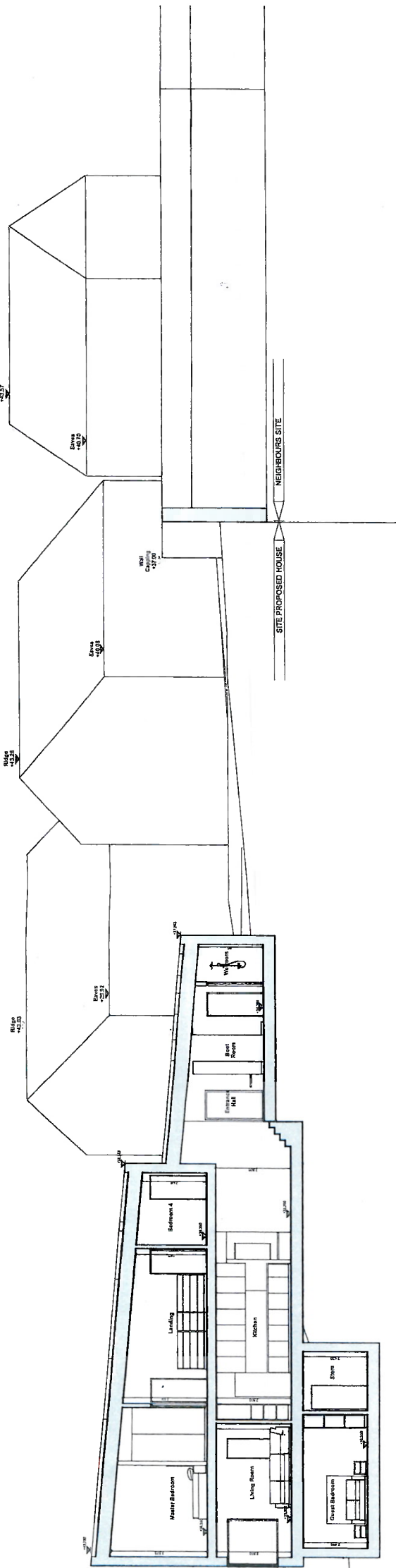
7950
+ 2400 + basement
10,350 - exceeds
permission
granted.



AN COIMISIÚN PLEANALA
18 DEC 2025
LTR DATED FROM REF
ACP-323969-25

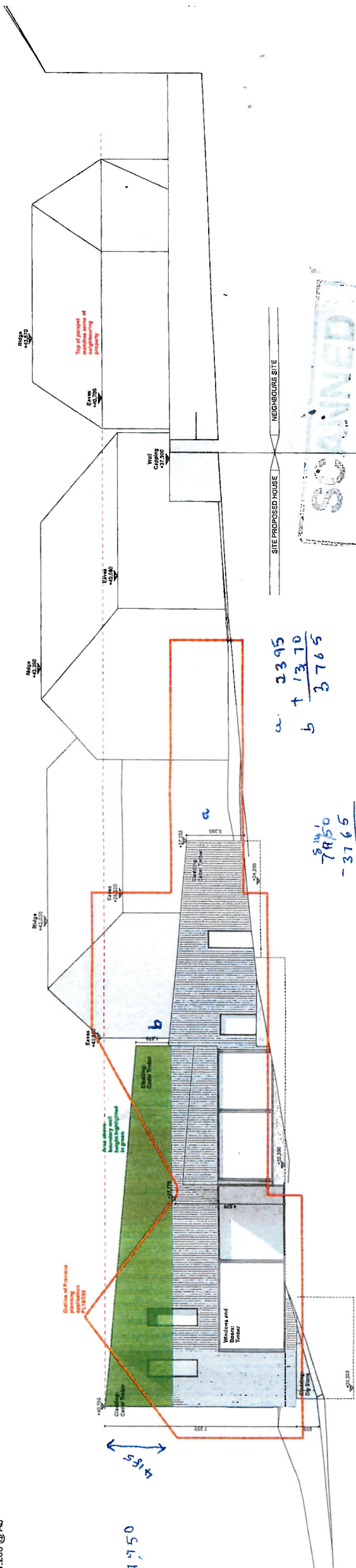


Proposed East Elevation
1:200 @ A3



Proposed Section B-B
1:200 @ A3

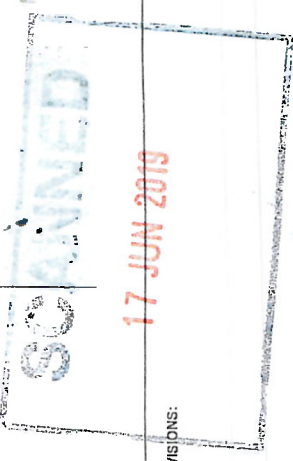
8,475
2,500
2,400
8,475



Proposed West Elevation
1:200 @ A3

8,475
7,850
- 37,65
4,185

a. 23,95
b. + 13,70
3,765



NOTE:	Do not scale from this drawing. Any discrepancies to be reported to the architect.	NOTES:	Proposed Finishes	PROJECT:	House at Strandhill	REVISIONS:	SCALE:	DRAWING NUMBER:	DRAWN:	REVISION:
All dimensions will be taken on site prior to ordering and construction. Copyright remains with the architect.			Roof: Sedum	DRAWING TITLE:	Proposed Elevations + Sections		1:200 @ A3	1719_P04	CK	
This drawing is to be read in conjunction with the specification and all other relevant drawings.			Cladding: Cedar Timber	STAGE:	Planning Application				JM	
			Cladding: Dry Stone	DATE:	30/05/2019					
			Windows and Doors: Timber Frame							

NOU ARCHITECTS

NOU Architects
Unit 23, Commercial
Ground Floor, The Building Block,
Bridge St, Sligo
t: 077 76885

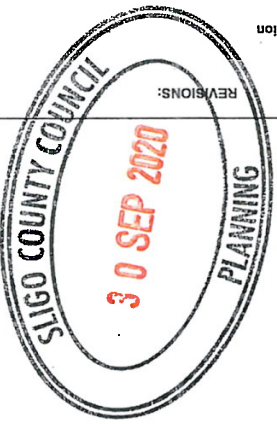
90
7/19



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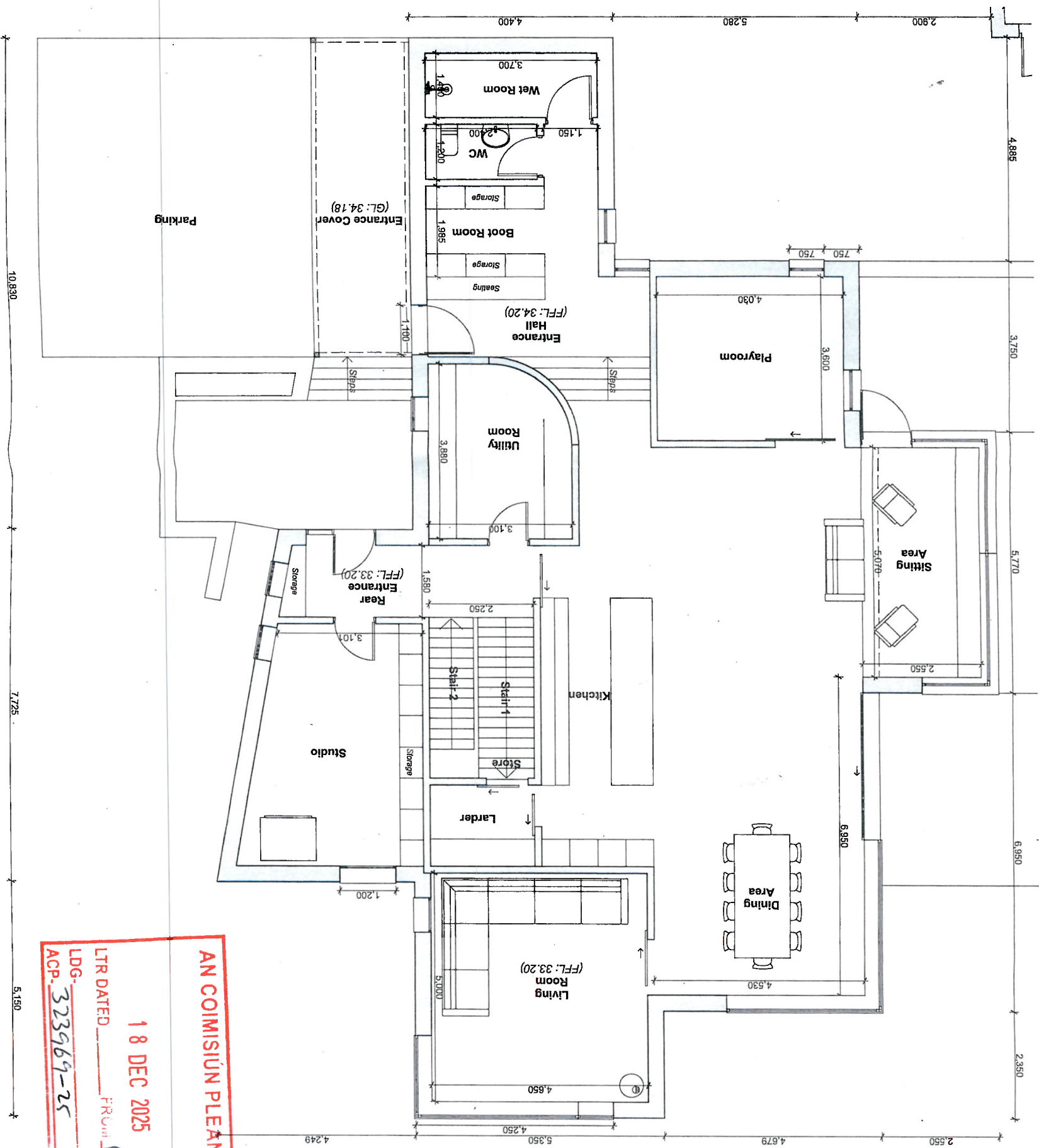
NOTES:

PROJECT: House at Strandhill
DRAWING TITLE: Ground Floor Plan - Planning Application
STAGE: Retention Application
DATE: 02/09/2020



SCALE: 1:100 @ A3
DRAWING NUMBER: 1719_P02
CHECKED: CK
DRAWN: JM
REVISION: -
Data 23, Collaborative Area, Bridge St. Sligo
Ground Floor, The Building Block,
e: info@nqi.ie
t: 087 7700805

Ground Floor Plan - Planning Application
1:100 @ A3



AN COIMIISIÚN PLEANÁLA
18 DEC 2025
LTR DATED FROM REF
LDG- 323969-25
ACP

RL 20339 Retention

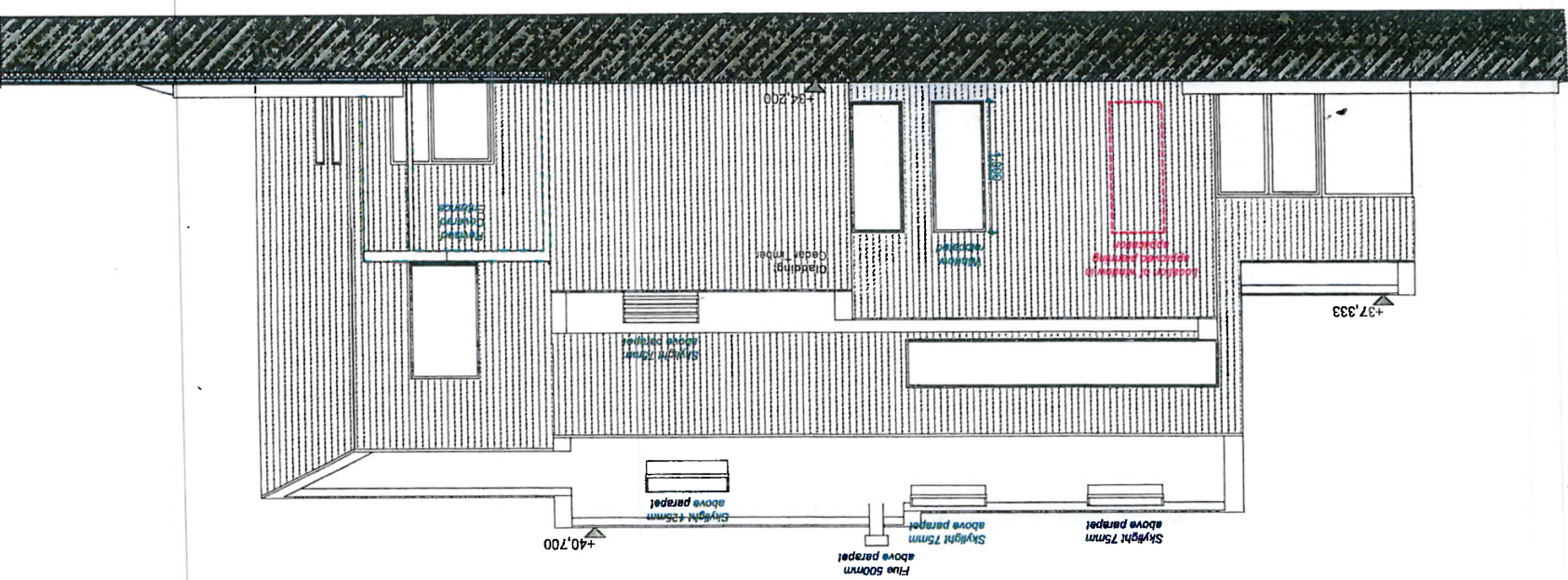
P4/9

89

- No. of roof light dimensions on plan.

68

ACP-2571-5



1:100 @ A3

1:100 @ A3

Windows and Doors: AluClad

Do not scale from this drawing. Any discrepancies to be reported to

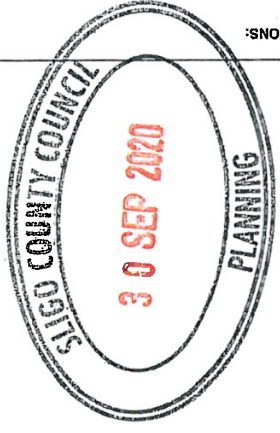
planing application to be modified

STAGE:
Retention Application

STAGE:
Retention Application

Ground Floor, The Building Block,
Bridge St, Singapore
E: info@nilla
T: 087 7708805

1:100 @ A3	1719 R.06	CK CHECKED: JM	-
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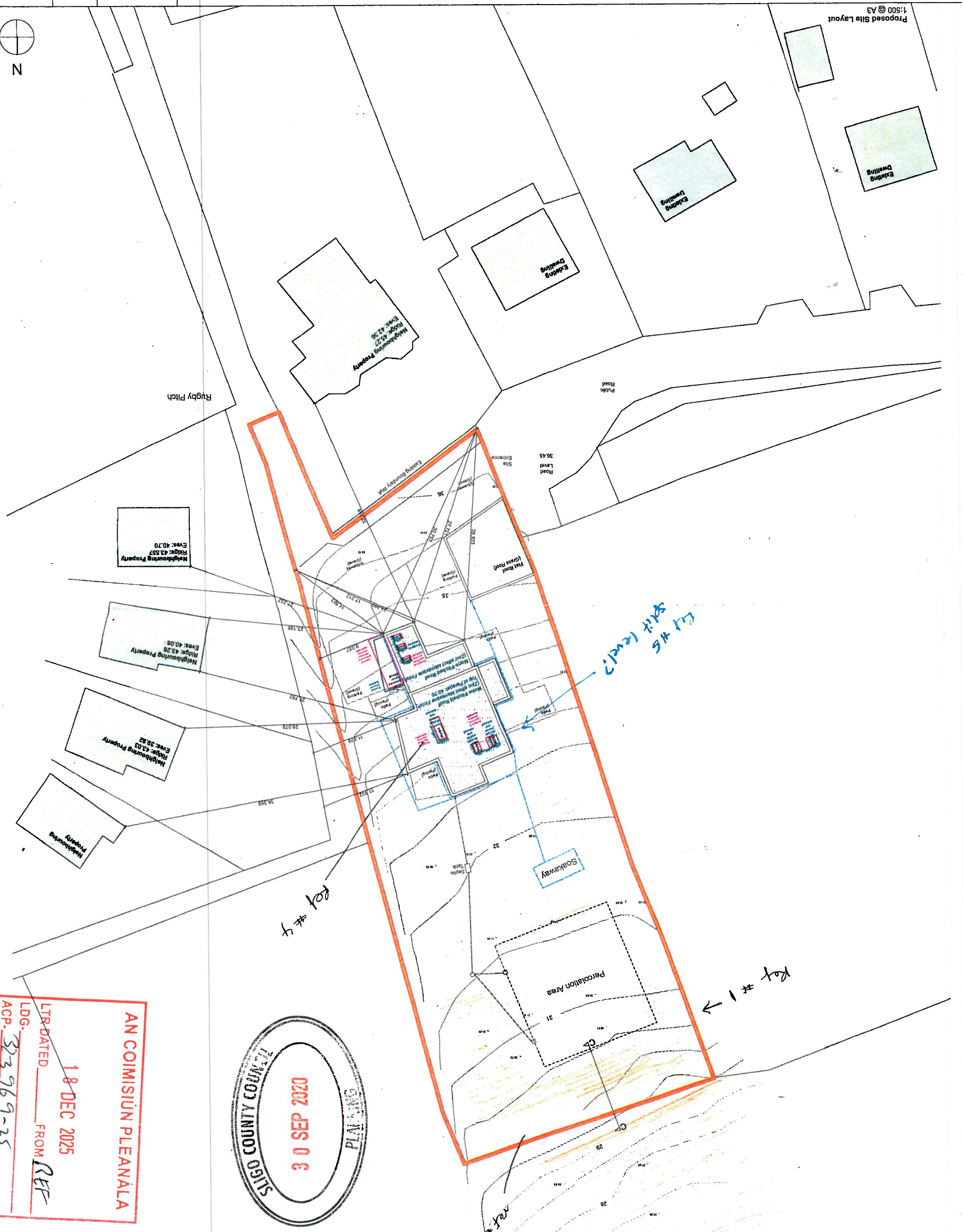
NOTES:
 Outline of open in application
 Pink text highlights areas of approved planning application to be modified
 Green text highlights areas for retention application

PROJECT: House at Strandhill
DRAWING TITLE: Proposed Site Layout Plan
STAGE: Retention Application
DATE: 25/09/2020

REVISIONS:

SCALE:	1:500 @ A3
DRAWING NUMBER:	1719_R.01
CHECKED:	CK
DRAWN:	JM
REVISION:	

NO.11 Architects
 Unit 23, Cobblestone Area,
 Bridge St., Sligo
 E: info@no11.ie
 T: 027 770805



AN COIMISIÚN PLEANÁLA
 18 DEC 2025
 LTR DATED FROM REF
 LDG- 323 969-25
 ACP- 323 969-25

SLIGO COUNTY COUNCIL
 30 SEP 2020
 PLANNING

22/9

6/16
05

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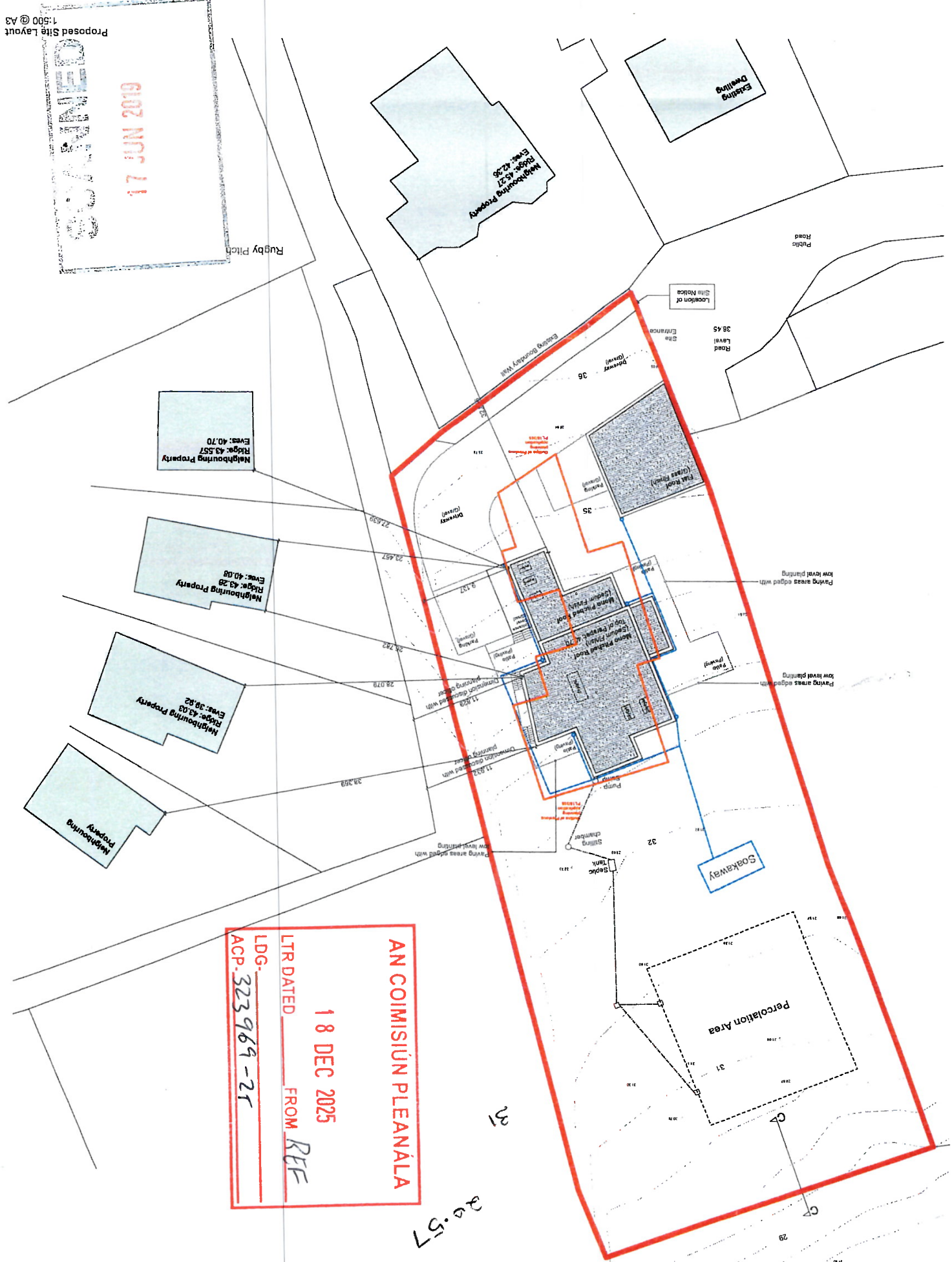
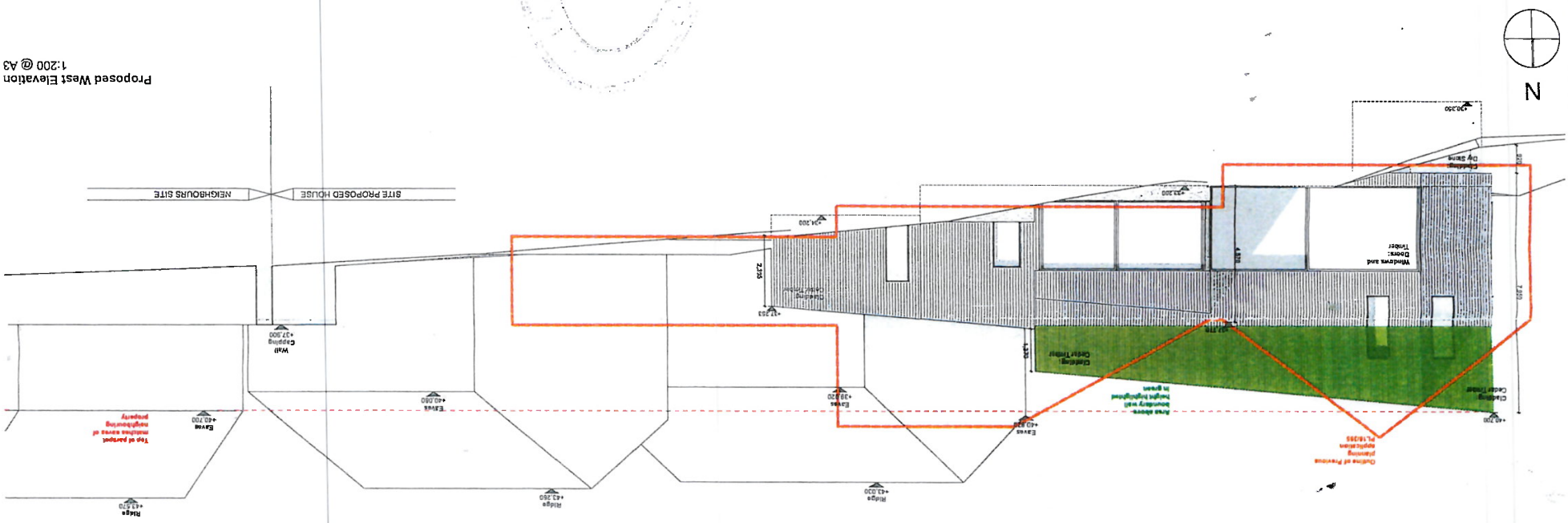
NOTES:
- Site Boundary
- Foul water
- Surface water
- Outline of Previous Application
- Design Considerations

PROJECT: House at Strandhill
DRAWING TITLE: Design Considerations
STAGE: Planning Application
DATE: 30/05/2019

REVISIONS:

SCALE: 1:200, 1:500, 1:2 @ A3	DRAWING NUMBER: 1719_P.08	CHECKED: JM	DRAWN: CK	REVISION:
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ARCHITECTS
NDA Architects
Desk 22, Collaborative Area,
Bridge St, Strigo
t: 087 7708805



The footprint of the building has reduced from the previous application, decreasing the impact on neighbouring properties. The Sedum, Mono pitched roof and timber cladding incorporates the proposed dwelling into the surrounding landscape.

The Building is set 11 meters from the boundary with the neighbouring properties, and due to the reduction in footprint, is moved away from the southern boundary.

The maximum point of the building, the northern parapet, is at the same height as the eaves of the neighbouring property in Dorrins Strand, with a small proportion of the proposed dwelling extending above the height of the southern boundary wall.

Design Considerations

31.08
30.57

Photo for test site taken:
end of site green belt?

Ann 23/6/12



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NOTES:
Outline of open in approved planning application
Pink text highlights areas of approved planning application to be modified
Green text highlights areas for retention application

PROJECT: House at Strandhill
DRAWING TITLE: First Floor Plan - Retention Application
STAGE: Retention Application
DATE: 25/09/2020

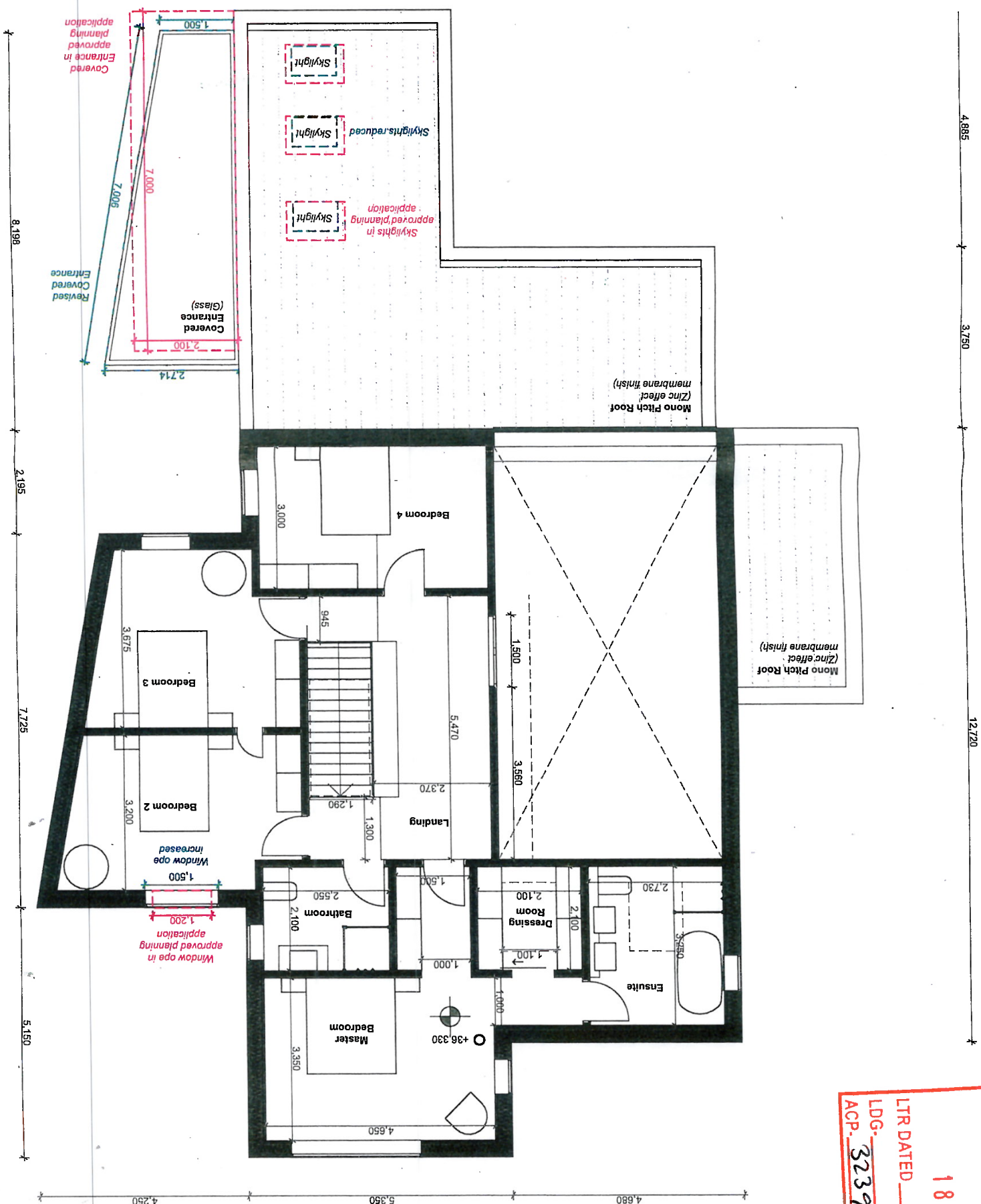
REVISIONS:



SCALE: 1:100 @ A3
DRAWING NUMBER: 1719_R.04
DRAWN: CK
CHECKED: JM
REVISION:

NO.11 Architects
Unit 23, Collaborative Area,
Ground Floor, The Building Block,
Bridge St, Sligo
E: info@no11.ie
T: 087 770805

First Floor Plan - Retention Application
1:100 @ A3



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18 DEC 2025
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LDG-323964-25
ACP



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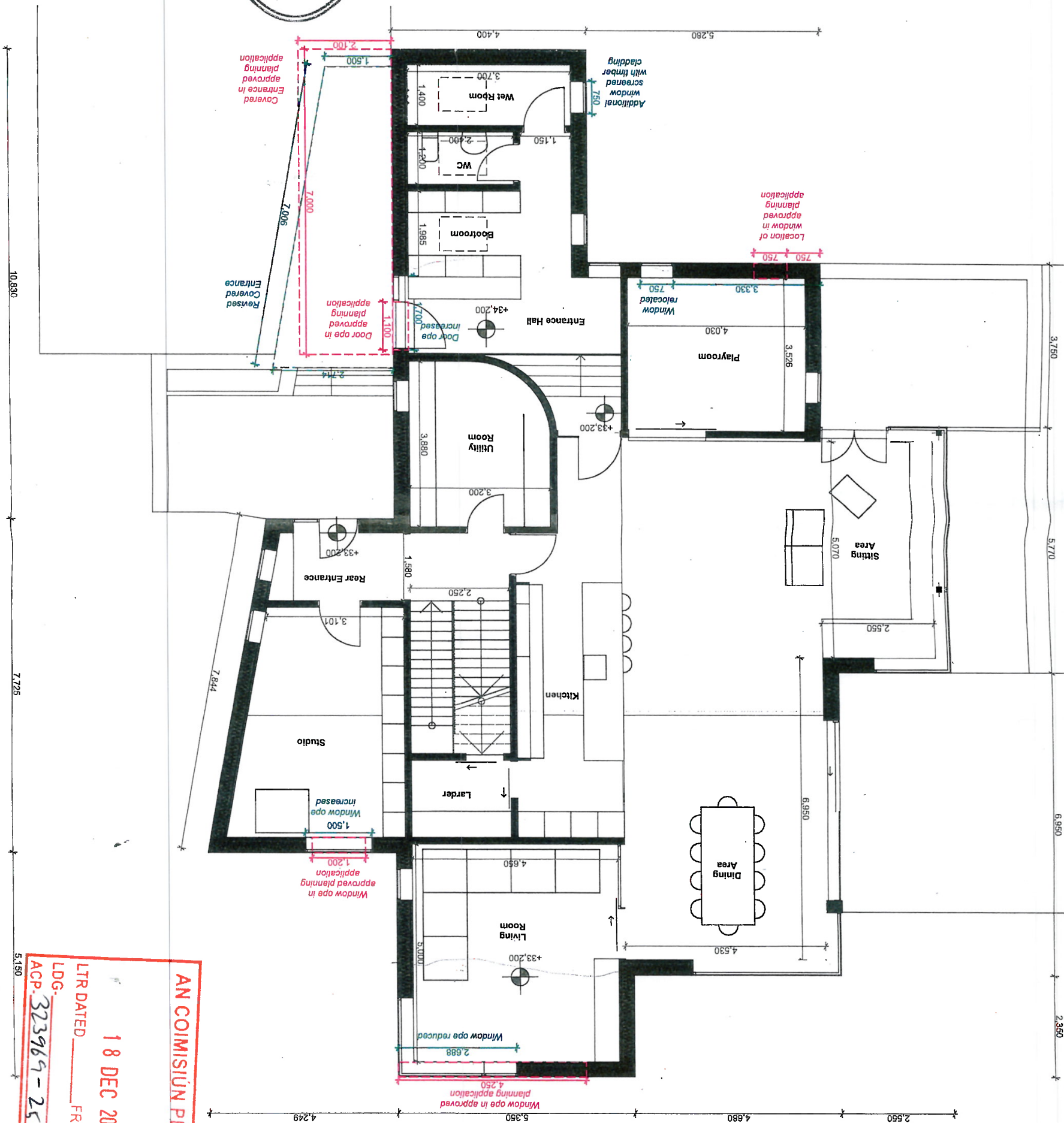
NOTES:
Outline of ope in approved planning application
Pink text highlights areas of approved planning application to be modified
Green text highlights areas for retention application

PROJECT: House at Strandhill
DRAWING TITLE: Ground Floor Plan - Retention Application
STAGE: Retention Application
DATE: 25/09/2020



Ground Floor Plan - Retention Application

1:100 @ A3



AN COIMISIÚN PLEANÁLA
18 DEC 2025
LTR DATED FROM REF
LDG-323964-25
ACP-323964-25

REVISION:	DRAWN: CK	CHECKED: JM	DRAWING NUMBER: 1719.R.03	SCALE: 1:100 @ A3
REVISION:	DRAWN: CK	CHECKED: JM	DRAWING NUMBER: 1719.R.03	SCALE: 1:100 @ A3

PL 200331 Retention
R5h
59



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NOTES:

PROJECT: House at Strandhill
DRAWING TITLE: Basement Plan - Planning Application
STAGE: Retention Application
DATE: 02/09/2020

REVISIONS:

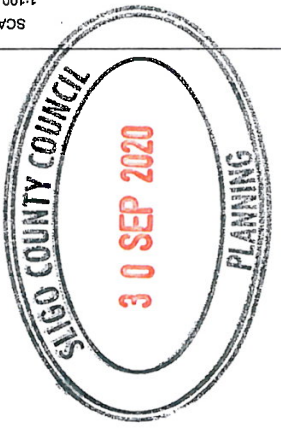
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DRAWING NUMBER: 1719_P04

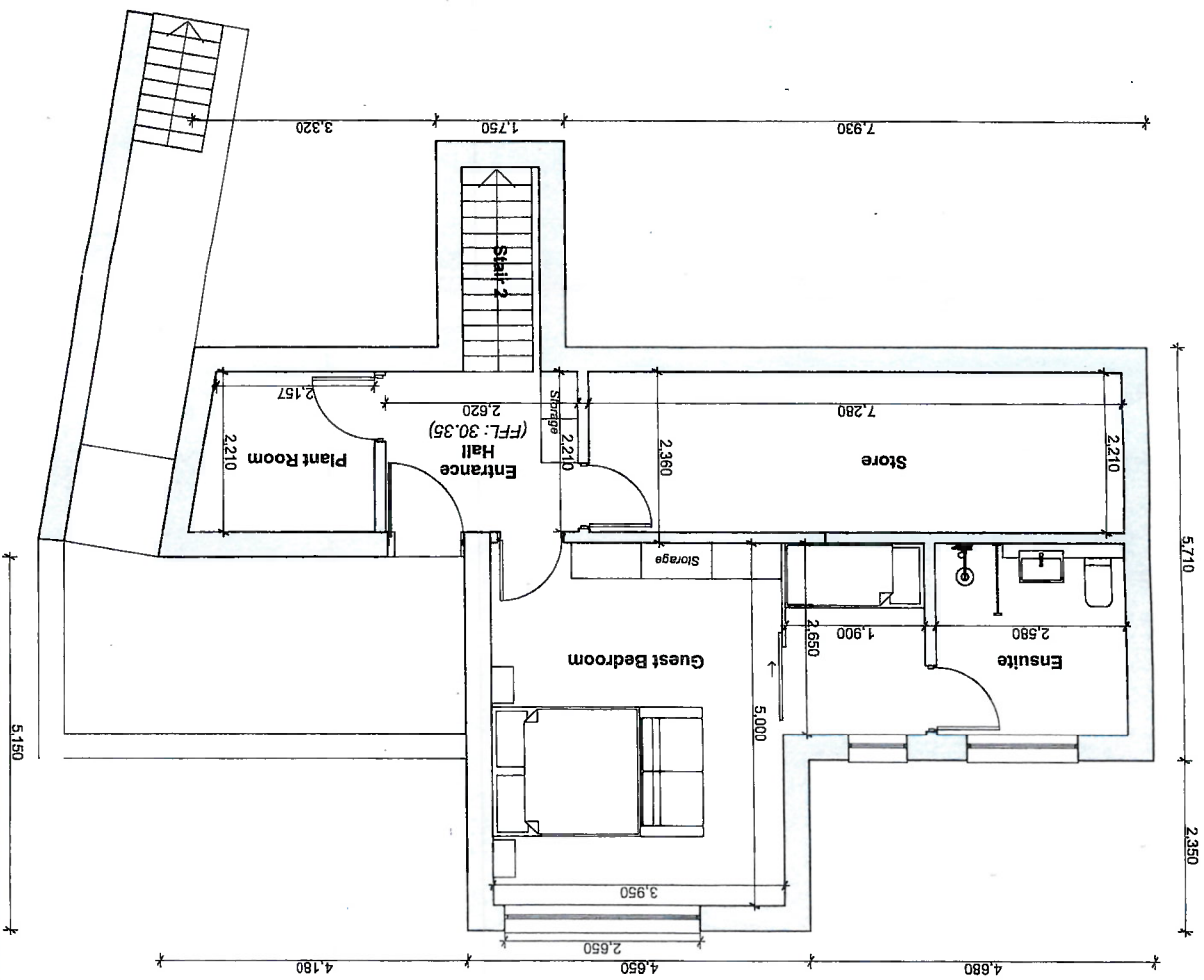
DRAWN: CK
CHECKED: JM

REVISION:

NOI Architects
Unit 23, Commercial Park,
Ballyvaughan, Co. Clare
Tel: 087 7708805



Basement Plan - Planning Application
1:100 @ A3



AN COIMISIÚN PLEÁNÁLA
18 DEC 2025
LTR DATED FROM
LDG: 323969-22
ACP

PL20335 extension

P.8/9

89

Scale 1:100 @A3
Proposed Roof Plan

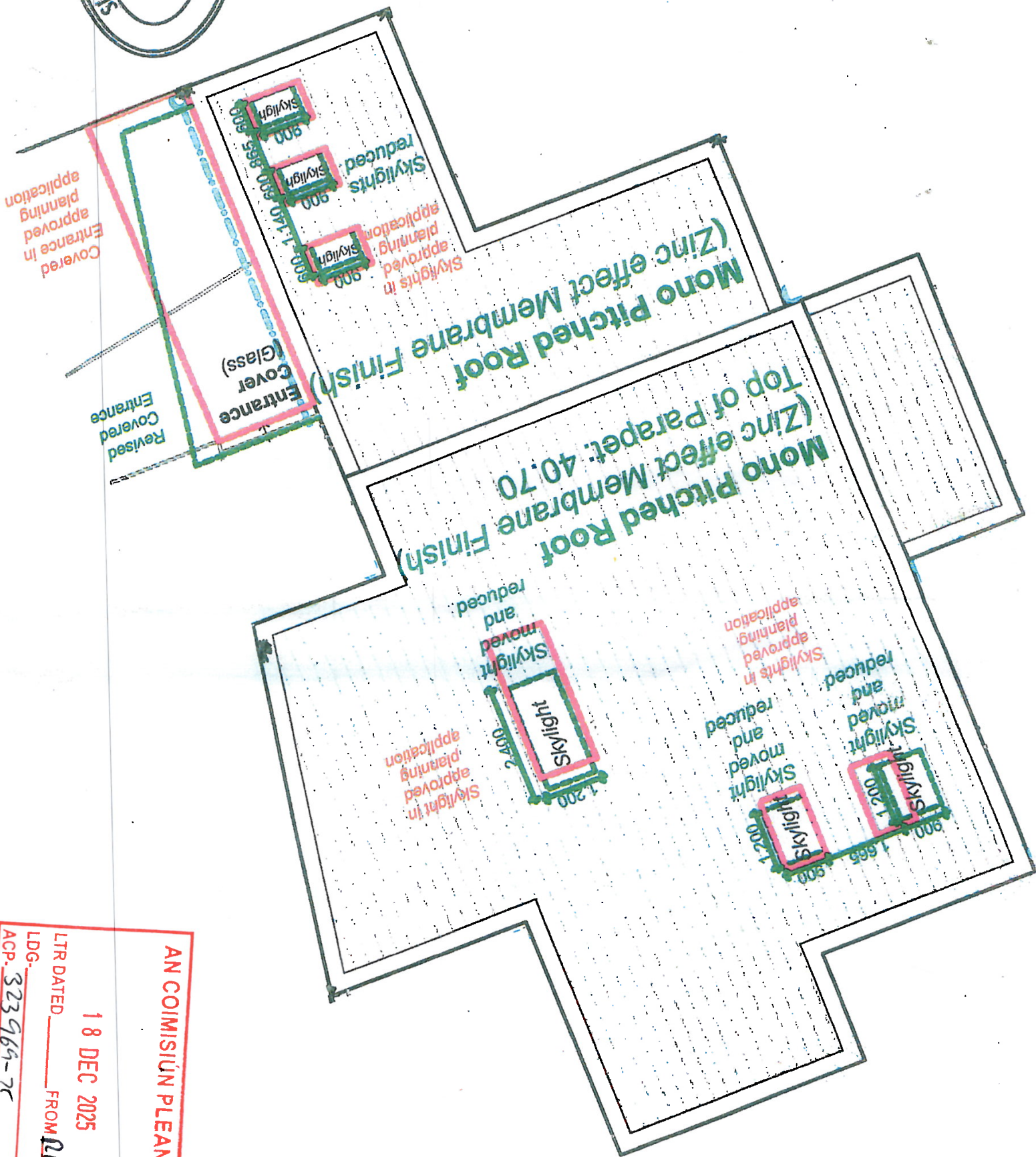
NOTES:
Outline of open in
approved planning
application
Pink text highlights areas of approved
planning application to be modified
Green text highlights areas for
retention application

PROJECT:
House at Strandhill
DRAWING TITLE:
Proposed Roof Plan
STAGE:
Retention Application
DATE:
25/09/2020

REVISIONS:
Refer to Drawing 1719_R.01
for corresponding notes.

DRAWING NUMBER:
1719_R.01A
SCALE:
1:100 @A3
DRAWN:
JM
CHECKED:
JM
REVISION:
-

NOI Architects
Desk 23, Collingwood Block,
Ground Floor, The Bridge
at Strandhill
t: 087 7708805



AN COIMISIÚN PLEANÁLA
18 DEC 2025
LTR DATED FROM DEF
LDG-323964-7C
ACP-323964-7C

89

P1/9

Retention
PL 20339

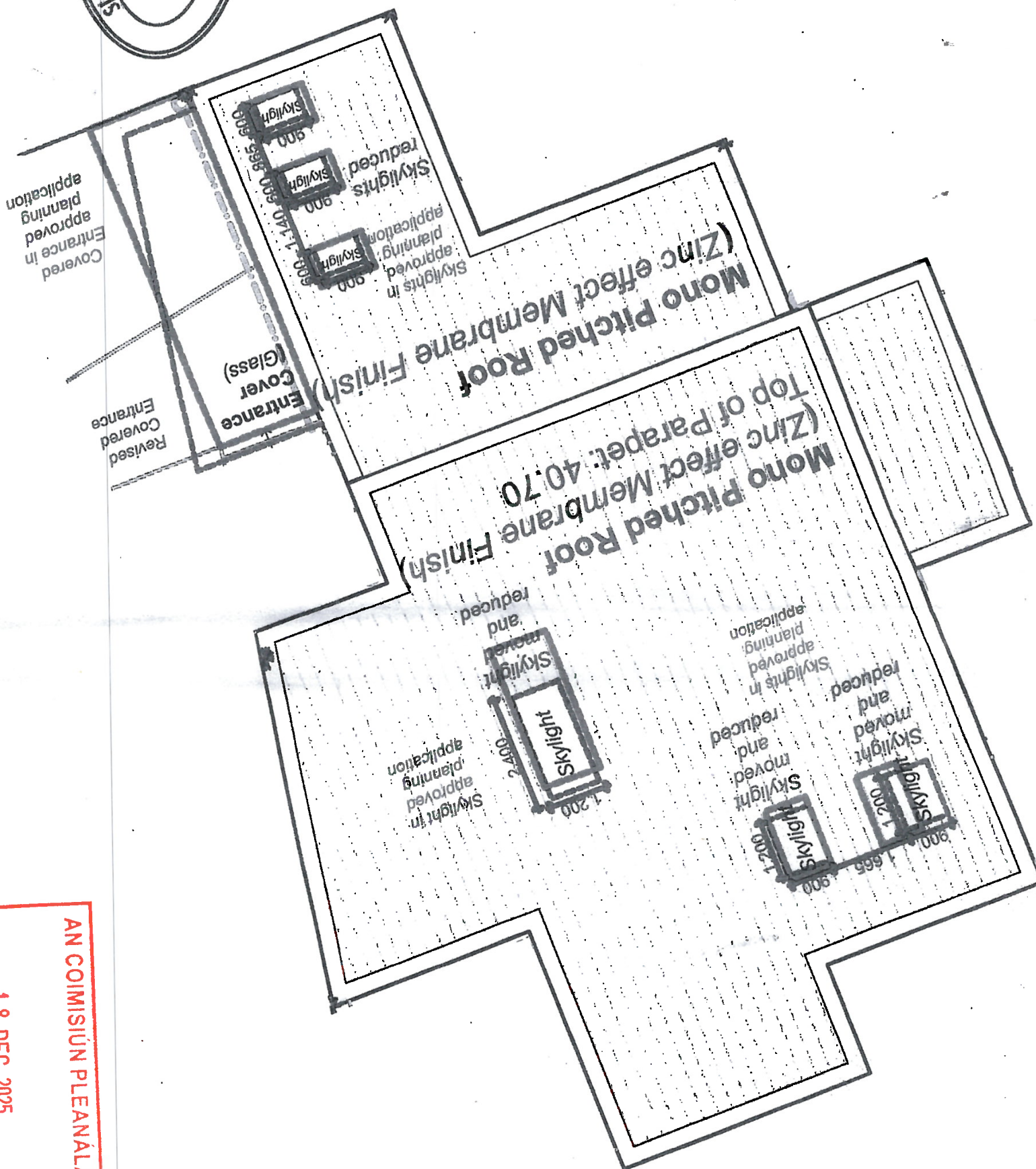
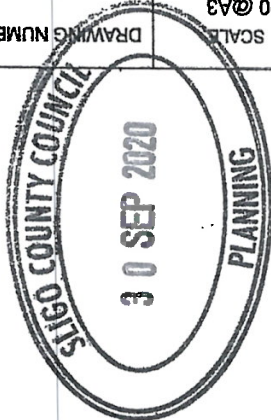
Proposed Roof Plan
Scale 1:100 @A3

NOTES:
Outline of open in
approved planning
application
Pink text highlights areas of approved
planning application to be modified
Green text highlights areas for
retention application

PROJECT:
House at Strandhill
DRAWING TITLE:
Proposed Roof Plan
STAGE:
Retention Application
DATE:
25/09/2020

REVISIONS:
Refer to Drawing 1719_R.01
for corresponding notes.

DRAWING NUMBER:
1719_R.01 A
DRAWN:
CK
CHECKED:
JM
REVISION:



AN COIMISIÚN PLEANÁLA
18 DEC 2025
LTR DATED FROM REF
LDG-
ACP-323964-25

89

Retention

PL 20339

p1/9

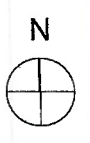
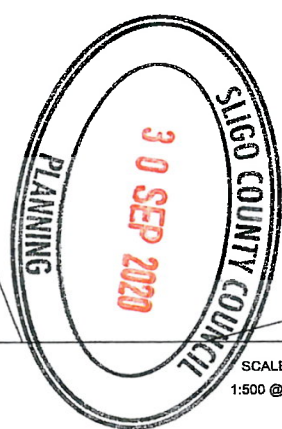
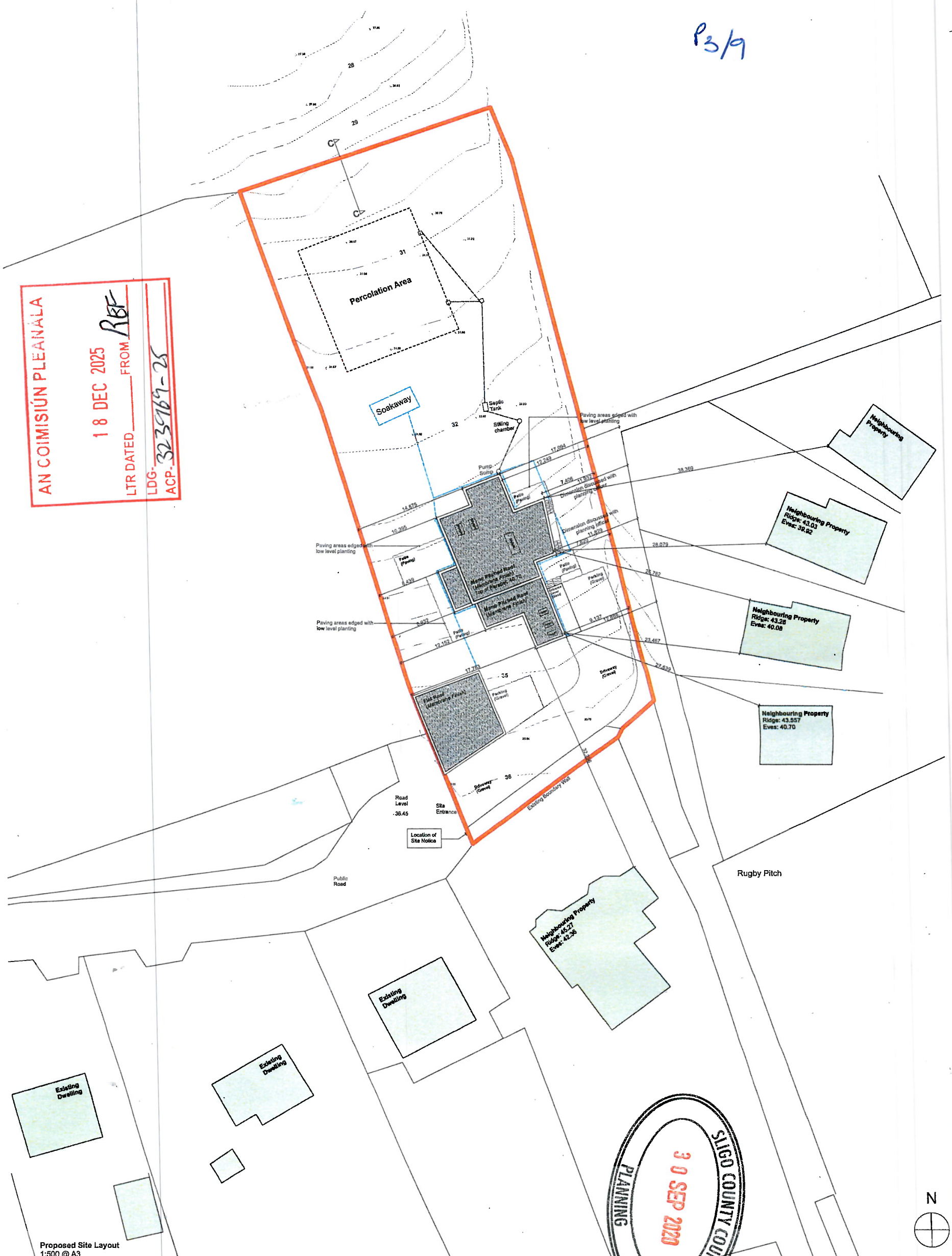
1-000000, Retention

Note farm adjacent
DD 29 } now level July 2021
DD 28 } due to infilling without
EIA or AA or Planning

89

P3/9

AN COIMISIUN PLEANALA
18 DEC 2025
LTR DATED FROM RBF
LDG-323969-25
ACP-



NOTE:
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NOTES:
— Site Boundary
— Foul water
— Surface water

PROJECT:
House at Strandhill
DRAWING TITLE:
Site Layout Plan - Planning Application
STAGE:
Retention Application
DATE:
02/09/2020

REVISIONS:

SCALE:
1:500 @ A3

DRAWING NUMBER:
1719_P.01

DRAWN:
CK
CHECKED:
JM

REVISION:

NOJ
ARCHITECTS

NOJ Architects
Desk 23, Collaborative Area,
Ground Floor, The Building Block,
Bridge St, Sligo
e: info@noj.ie
t: 087 7708805

AN COIMISIÚN PLEANÁLA
18 DEC 2025
LTR DATED FROM REF
LDG-ACP-323969-25

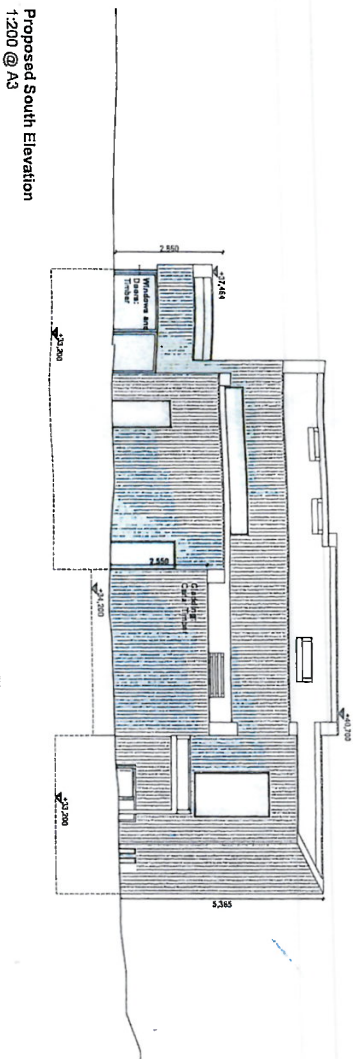


Fig. c

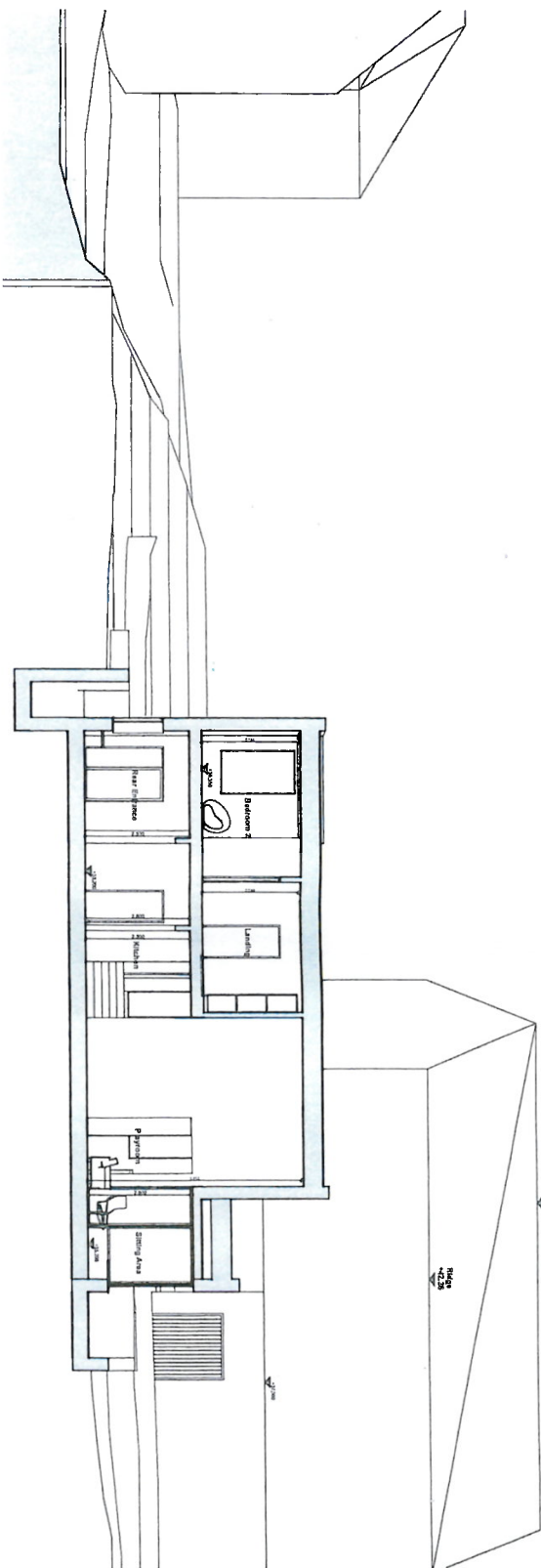
5.365 m

Fig a. 7.500

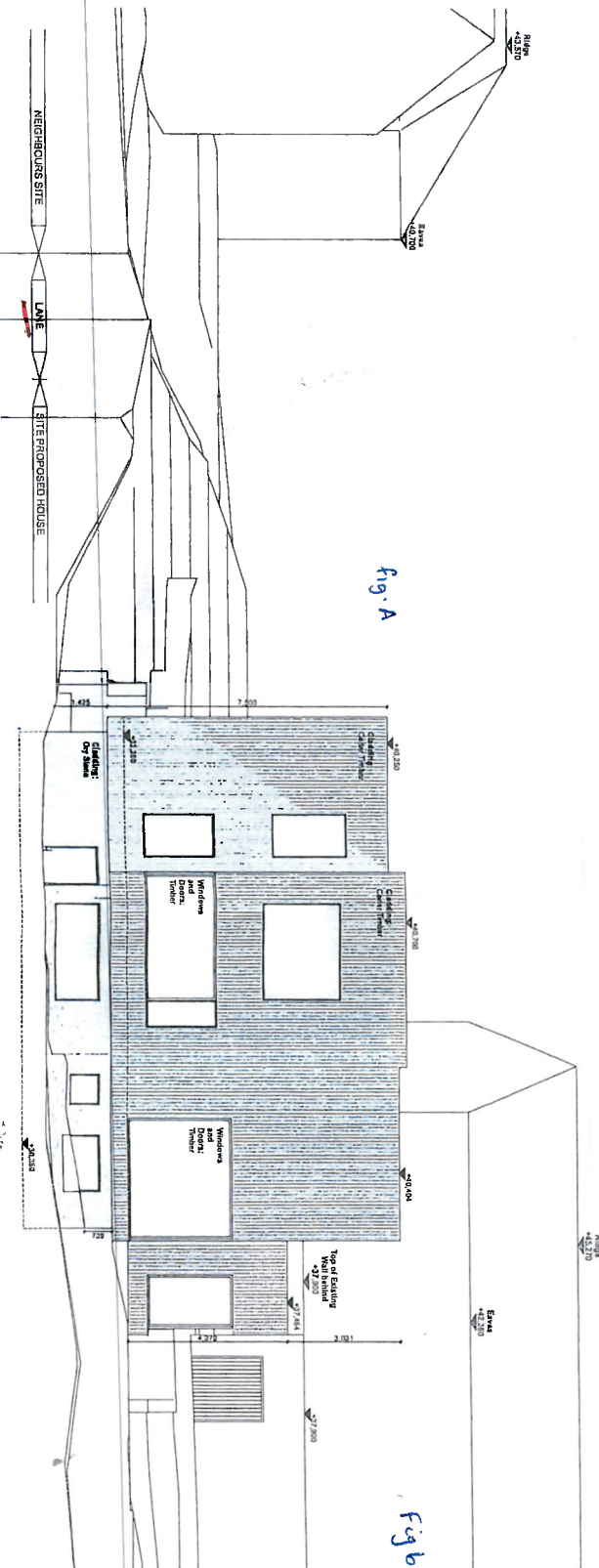
1.425 to be removed.

Fig b.

4.739
3.031
7.310
+ 1.425 to be removed
8.735 m



Proposed Section A-A
1:200 @ A3



Proposed North Elevation
1:200 @ A3

NOTE:
Do not scale from this drawing. Any discrepancies to be reported to the architect.

All dimensions will be taken on site prior to ordering and construction. Copyright remains with the architect.

This drawing is to be read in conjunction with the specification and all other relevant drawings.

NOTES:
Proposed Finishes

Roof: Sedium

Cladding: Cedar Timber

Cladding: Dry Stone

Windows and Doors: Timber Frame

PROJECT:
House at Strandhill

DRAWING TITLE:
Proposed Elevations + Sections

STAGE:
Planning Application

DATE:
30/05/2019

REVISIONS:

1

17 JUN 2019

SCALE:
1:200 @ A3

DRAWING NUMBER:
1719_P103

DRAWN:
CK

REVISION:
A

CHECKED:
JM

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05 JUN 2019

17 JUN 2019

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